

General Municipal Law §239-M Referral Form

Washington County Planning Board

Municipality: Town of Kingsbury

Project description:

Applicant Name: Kenyon Property Management LLC

Address of the proposed action: 68 Park Rd

Nearest major intersection: Park Rd & Queensbury Ave

Tax Map Number: _____

Existing land use or conditions: Vacant

Proposed changes: 6,400 sq ft Commercial Building and storage shed 1200 sq ft

Referring body:

- ☒ Planning Board
☐ Zoning Board of Appeals
☐ Town or Village Board

Proposed action:

- ☐ Adoption or amendment of a zoning ordinance or local law
☒ Approval of a site plan
☐ Granting of a use variance
☐ Granting area variance
☐ Granting of a special use permit
☐ Other authorizations that a referring body may issue under the provisions of any zoning ordinance or local law. Please Specify _____

Location is within 500 feet of the following:

- ☒ Municipal Boundary
☐ Right-of-Way of County/State Expressway, Highway or Road
☐ Boundary of County/State-owned Land Containing a Public Building or Institution
☐ Boundary of a Farm Operation Located in an Agricultural District
☐ Not Applicable

Include the following:

- ☐ Completed Environmental Assessment Form (EAF) and all other materials used by the referring body to make a determination of significance pursuant to the State Environmental Quality Review Act (SEQRA).


■ If Type II Action, please note the number of the action as listed under 6NYCRR Part 617.5 (c)

- ☐ Copy of the full text of ordinance or local law being proposed or amended (if applicable)
☐ Copy of application submitted to referring body
■ Provide details of any requirements of the municipalities codes or regulations that were waived
☐ Maps & plans: If oversized (larger than 11"x17"), please reduce originals to 11"x17"
☐ Aerial photograph(s) showing the context of the site location
☐ Twelve (12) printed copies of the full statement with the above stated inclusions
■ An electronic version of the completed full statement: please provide CD copy or e-mail to the Washington County LDC

Contact Information:

Person responsible for submitting referral: Todd Humiston
Title or position: Enforcement Officer
Mailing address: 6 Michigan Street
Phone: 518-747-2188 ext 3008 Fax: 518-747-4500

Please sign and date the receipt below:

I , certify that the statement of the proposed action being submitted for referral to the Washington County Planning Board on (date) 10/29/21 is complete to the best of my knowledge and in accordance with the municipality's land use ordinances and laws.

Space below provided for Planning Department use:

Date received in office: _____
Deadline Date: _____

Stamped date received

Materials list:

- ☐ Completed EAF
- ☐ Copy of the text of ordinance or local law being proposed or amended
- ☐ Copy of application submitted to the referring body
- ☐ Maps and plans
- ☐ Arial photograph(s)
- ☐ Other: _____
- ☐ Twelve (12) printed copies of completed package

TOWN OF KINGSBURY – OFFICE OF CODE ENFORCEMENT
6 MICHIGAN STREET, HUDSON FALLS, NEW YORK 12839
PHONE: 747-2188 EXT. 3008

APPLICATION FOR SITE PLAN REVIEW / USE PERMIT

DATE: 10.29.2021 PERMIT #:

APPLICANT NAME: Kenyon Property Management LLC
APPLICANT ADDRESS: 68 Park Rd
Kingsbury, NY
APPLICANT PHONE: 518-832-4070

PROPERTY LOCATION: Park Road TAX MAP #: 137.-2-39

ZONE DISTRICT: PIC-75

I DO HEREBY APPLY FOR SITE PLAN REVIEW PURSUANT TO CHAPTER 280 ARTICLE IX
OF THE CODE OF THE TOWN OF KINGSBURY.

DESCRIPTION OF PROJECT:

Proposed project includes the construction of a pre-engineered metal building and storage shed with footprints of approx. 6,900 sqft. and 1,200 sq. ft., respectively. Site improvements include a new gravel parking lot with 34 spaces, stormwater management practices, and landscaping.

APPLICANT SIGNATURE: [Signature] DATE: 10-26-21

OFFICE USE

FEE:
HEARING DATE:
PUBLISHED ON:
RESULT:

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: KPI Shop Building			
Project Location (describe, and attach a location map): Park Road, Kingsbury, NY 12804			
Brief Description of Proposed Action: Proposed project includes the construction of KPI's metal shop building with a footprint of approx. 6,900 sqft. Site improvments include a new asphalt parking lot with 34 spaces, stormwater management practices, and landscaping.			
Name of Applicant or Sponsor: Kenyon Property Management, LLC		Telephone: 518-832-4070	
		E-Mail:	
Address: 68 Park Road			
City/PO: Kingsbury		State: NY	Zip Code: 12839
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		2.07 acres	
b. Total acreage to be physically disturbed?		2.07 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2.07 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5.	Is the proposed action,	NO	YES	N/A
	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
	If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9.	Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
	If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10.	Will the proposed action connect to an existing public/private water supply?	NO	YES	
	If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11.	Will the proposed action connect to existing wastewater utilities?	NO	YES	
	If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12.	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Wetland ID: HF-3, no alterations to wetland _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <div><input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban</div>		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div>a. Will storm water discharges flow to adjacent properties?</div> <div>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</div> If Yes, briefly describe: <div>Part of the stormwater runoff will be directed to an existing ditch along the roadside.</div>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: A pocket pond will be constructed on the western side of the site to treat, store, and attenuate stormwater runoff. The pond as a basal area of 2222 sf.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20.Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: Remediation performed at 65 Park Road, Kingsbury, NY. Program No.: 558042.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<div>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</div> <div>Applicant/sponsor/name: Matthew Huntington Date: 10/29/2021</div> <div>Signature: <u>Matthew Huntington</u> Title: Principal</div>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes

KPI SHOP BUILDING
79 PARK ROAD
KINGSBURY, NEW YORK

PREPARED FOR

KENYON PROPERTY MANAGEMENT, LLC

68 PARK ROAD,
QUEENSBURY, NEW YORK, 12804

ZONING STATISTICS

TAX MAP ID: 137.-2-36

ZONE: PARK-INDUSTRIAL-COMMERCIAL PIC-75

ZONE ABBREV.: PIC-75

LOT SIZE: 2.07 ACRES

	REQUIRED	PROPOSED
FRONT YARD SETBACK	40 FT. MIN	±100 FT.
SIDE YARD SETBACK	25 FT. MIN	±25 FT.
REAR YARD SETBACK	50 FT. MIN	±250 FT.

PROJECT LOCATION



PROJECT TEAM

CIVIL ENGINEERING & LANDSCAPE ARCHITECT:

STUDIO A | LANDSCAPE ARCHITECTURE, D.P.C.
38 HIGH ROCK AVE SUITE 3 | P.O. BOX 272
SARATOGA SPRINGS, NY 12866
CONTACT: MATTHEW HUNTINGTON
PHONE: 518.450.4030

GENERAL NOTES

1. PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL CONTACT U.F.P.O. AND THE PROPER LOCAL AUTHORITIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY COSTS INCURRED BY THE CONTRACTOR FOR FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL UTILITIES, INCLUDING BY NOT LIMITED TO LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC., WITH LOCATIONS OF PROPOSED SITE ELEMENTS. EXCAVATION REQUIRED PROXIMATE TO UTILITY LINES SHALL BE DONE BY HAND. ANY DAMAGE AND INCURRED COSTS DUE TO FAILURE OF THE CONTRACTOR TO ADHERE TO THESE GUIDELINES SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTOR SHALL ESTABLISH PERMANENT BENCHMARKS PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE LOCATED SO THAT THEY WILL NOT BE DISTURBED DURING CONSTRUCTION.
5. LIMITS OF DISTURBANCE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE THE LIMITS OF DISTURBANCE. ANY AREAS OUTSIDE THE LIMITS OF DISTURBANCE THAT ARE DISTURBED SHALL BE RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. IF NO LIMITS OF DISTURBANCE IS SHOWN, PROPERTY LINE SHALL BE THE LIMITS OF DISTURBANCE.
6. CONTRACTOR SHALL EMPLOY CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE LIMITS OF DISTURBANCE.
7. VARIOUS PERMITS ARE REQUIRED FOR THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS FROM ALL JURISDICTIONS AFFECTED BY THIS WORK ARE IN PLACE PRIOR TO CONSTRUCTION.
8. ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.
9. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXISTING INFRASTRUCTURE FOR THE DURATION OF CONSTRUCTION.

SHEET INDEX

L-0.00	COVER SHEET
L-0.10	EXISTING CONDITIONS & EROSION AND SEDIMENT CONTROL PLAN
L-1.10	LAYOUT & UTILITIES PLAN
L-2.10	GRADING & DRAINAGE PLAN
L-3.10	STORMWATER DETAILS
L-4.10	CONSTRUCTION DETAILS
L-5.10	PLANTING PLAN

PERMIT SET
DOCUMENTS
10/29/2021

studioA
Landscape Architecture + Engineering, DPC

STUDIO A
LANDSCAPE ARCHITECTURE +
ENGINEERING, DPC
MAILING:
PO BOX 272
SARATOGA SPRINGS, NY 12866
OFFICE LOCATION:
38 HIGH ROCK AVE, SUITE 3
SARATOGA SPRINGS, NY 12866
(518) 450-4030

IT IS A VIOLATION OF NEW YORK STATE
REGULATION LAW FOR ANY PERSON, FIRM
OR COMPANY TO REPRODUCE OR TO
REPRODUCE ANY PART OF THE DESIGN OF A
REGISTERED PROFESSIONAL, WITHOUT
THE WRITTEN PERMISSION OF THE
REGISTERED PROFESSIONAL, OR TO
REPRODUCE, TO ALTER ANY ITEM IN ANY WAY
OR TO REPRODUCE THE DESIGN OF A
REGISTERED PROFESSIONAL, OR TO
ALTER THE DESIGN, OR TO ALTER THE
DESIGN, OR TO ALTER THE DESIGN, OR
TO ALTER THE DESIGN, OR TO ALTER
THE DESIGN, OR TO ALTER THE
DESIGN, OR TO ALTER THE DESIGN,
AND SPECIFIC DESCRIPTION OF THE
ALTERATION.

DRAWINGS
NOT FOR
CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
	10/29/2021	SITE PLAN REVIEW

PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
68 PARK ROAD,
QUEENSBURY, NY 12804

PROJECT
KPI SHOP BUILDING
DRAWING TITLE
COVER SHEET

DATE: 10/29/2021
PROJECT NO.
21067
DRAWING NO.
L-0.00
DWG 1 OF 7

DESIGN BY:
 DRAWN BY:
 CHECKED BY:
 DATE:
 PAGE: 1

PROJECT NO. 21067
DATE: 10/29/2021
PAGE: 1

TEST PIT LOG

TEST PIT TP-1	0'-1' ORGANICS, ROOTS, & TOPSOIL 1'-6" CLAYEY LOAM REFUSAL @ 6' ON BOULDER OR BEDROCK NO GROUNDWATER ENCOUNTERED
TEST PIT TP-2	0'-8" ORGANICS, ROOTS, & TOPSOIL 8'-15" CLAYEY LOAM 15'-4" HEAVILY MOTTLED CLAYEY LOAM REFUSAL @ 4' ON BOULDER OR BEDROCK NO GROUNDWATER ENCOUNTERED
TEST PIT TP-3	0'-8" ORGANICS, ROOTS, & TOPSOIL 8'-15" CLAYEY LOAM 15'-6" HEAVILY MOTTLED CLAYEY LOAM 6'-6 1/2" SILTY LOAM GROUNDWATER ENCOUNTERED AT 5' REFUSAL @ 6 1/2' ON BOULDER OR BEDROCK
TEST PIT TP-4	0'-4" CLAYEY LOAM GROUNDWATER ENCOUNTERED AT 4' REFUSAL @ 4' ON BOULDER OR BEDROCK
TEST PIT TP-5	0'-10" ORGANICS, ROOTS, & TOPSOIL 10'-4" SILT WITH TRACE GRAVEL, MOTTLED GROUNDWATER ENCOUNTERED AT 2'
TEST PIT TP-6	0'-8" ORGANICS, ROOTS, & TOPSOIL 8'-28" CLAYEY LOAM, HEAVILY MOTTLED

TEST PITS WERE EVALUATED AND WITNESSED BY
MATTHEW E. HUNTINGTON, PE. ON AUGUST 19, 2021

One Story Building

SITE PREPARATION & DEMOLITION NOTES:

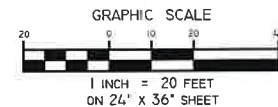
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND SUBSURFACE CONDITIONS PRIOR TO THE START OF WORK. COORDINATE ALL UTILITY REQUIREMENTS AND WORK WITH THE APPROPRIATE UTILITY PROVIDER. NOTIFY OWNER'S REPRESENTATIVE OF ANY AND ALL DISCREPANCIES.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED. MATERIALS THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A TIMELY FASHION SO AS NOT TO DISRUPT PROGRESS AND TO ENSURE SAFE SITE CONDITIONS. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY ITEMS KNOWN TO CONTAIN HAZARDOUS MATERIALS OR SUBSTANCES. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF HAZARDOUS MATERIALS OR SUBSTANCES DISCOVERED DURING THE COMPLETION OF SPECIFIED WORK.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN THE LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
- CONTRACTOR SHALL IMPLEMENT AND BE RESPONSIBLE FOR ALL NECESSARY MEASURES AND PROCEDURES TO MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN. PEDESTRIANS, LOCAL TRAFFIC AND ROADWAYS, ADJACENT PROPERTIES, AND ETC. FOR DURATION OF PROJECT AND PROJECT COMPLETION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND/OR RESTORATION REQUIRED AS A RESULT OF DEFICIENT PROTECTION MEASURES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS IF APPLICABLE.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT MUD ON TO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY THE CONTRACTOR ONLY.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT TO BE REMOVED WHERE APPLICABLE.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EXPOSED SOIL DISTURBANCE SHALL BE IN ACCORDANCE WITH THE NYS DEC REQUIREMENTS. ANY EXPOSED SOIL SHALL BE PROPERLY STABILIZED WITH EITHER PERMANENT SEED AND MULCH UPON COMPLETION OF CONSTRUCTION, OR TEMPORARILY SEEDED AND MULCHED IF IT WILL BE MORE THAN 14 DAYS BEFORE ADDITIONAL SOIL DISTURBANCE WILL OCCUR. ALL DISTURBED AREAS STRIPPED OF VEGETATION SHALL BE REVEGETATED WITHIN 14 DAYS FROM THE SUBSTANTIAL COMPLETION OF CONSTRUCTION OR CLEARING ACTIVITIES.
- THE CONTRACTOR SHALL LIMIT THE AREA OF CLEARING AND GRUBBING, EXCAVATION, BORROW, AND EMBANKMENT OPERATIONS IN PROGRESS, COMMENSURATE WITH THEIR CAPABILITY AND PROGRESS IN KEEPING THE FINISH GRADING AND MULCHING, SEEDING AND OTHER TEMPORARY AND/OR PERMANENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS.
- THE CONTRACTOR SHALL DESIGNATE TO THE OWNER'S REPRESENTATIVE A QUALIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR WITH ADEQUATE TRAINING, EXPERIENCE, AND AUTHORITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE NYS DEC REQUIREMENTS.
- CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. GRASSES SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS POSSIBLE. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH EXCELSIOR MATTING) WILL BE USED UNTIL SUCH A TIME AS GRASS CAN BE ESTABLISHED.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY SITE DISTURBANCE. THIS INCLUDES GRADING OPERATIONS, UTILITY OR STRUCTURE INSTALL.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYS DEC REQUIREMENTS.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA SERVED IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED AFTER EVERY STORM EVENT.
- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE PROJECT IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL WATER COURSES FROM WATER BORNE SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF NEARBY WATERBODIES OR STORM SEWER SYSTEMS BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.
- NOTE: DROP INLET PROTECTION TO BE INCLUDED AT ALL NEW CATCH BASINS AND AT ALL CATCH BASINS TO REMAIN IF APPLICABLE.

LEGEND

---	PROPERTY LINE
---	PROPERTY LINE SETBACK
---	MEAN HIGH WATER LINE
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
---	STABILIZED CONSTRUCTION ENTRANCE
TP-1	APPROXIMATE LOCATION OF TEST PITS
---	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD UTILITY POLE
---	EXISTING POTABLE WATER SERVICE
---	EXISTING SANITARY SEWER SERVICE



THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

studioA

LANDSCAPE ARCHITECTURE + ENGINEERING, P.C.

STUDIO A
LANDSCAPE ARCHITECTURE +
ENGINEERING, P.C.

MAILING:
PO BOX 272
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:
38 HIGH ROCK AVE, SUITE 3
SARATOGA SPRINGS, NY 12866

(518) 450-4030

DRAWINGS
NOT FOR
CONSTRUCTION

REVISIONS	DESCRIPTION	DATE
1	SITE PLAN REVIEW	10/29/2021

PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
68 PARK ROAD,
QUEENSBURY, NY 12804

PROJECT
KPI SHOP BUILDING

DRAWING TITLE
EXISTING CONDITIONS &
EROSION AND SEDIMENT CONTROL PLAN

DATE: 10/29/2021

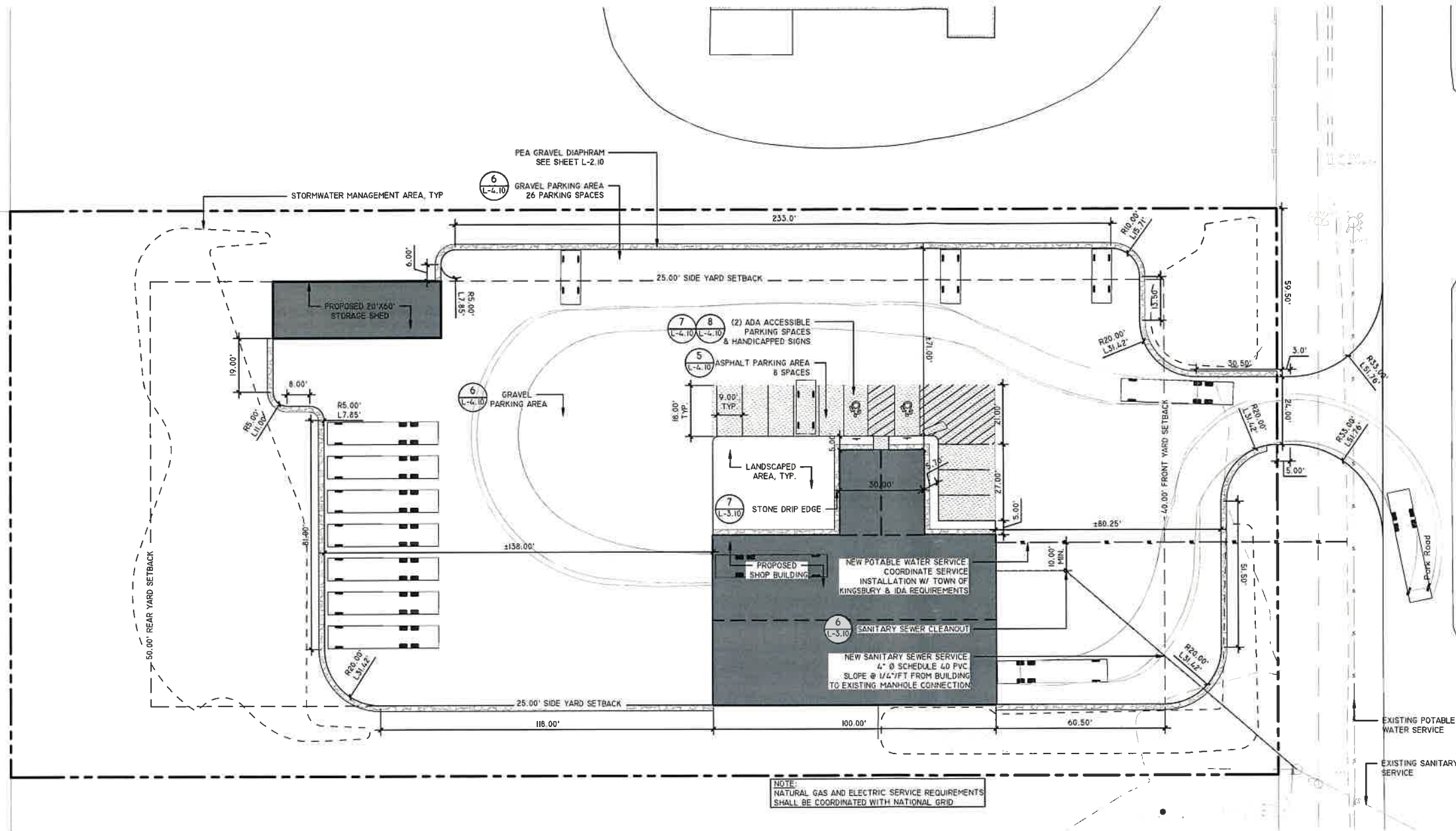
PROJECT NO.
21067

DRAWING NO.
L-0.10

DWG 2 OF 7

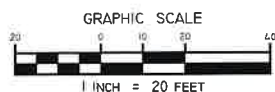
DESIGNED BY: J. L. LUGG
DRAWN BY: J. L. LUGG
CHECKED BY: J. L. LUGG
DATE: 10/29/2021
PROJECT: KPI SHOP BUILDING
DRAWING TITLE: LAYOUT AND UTILITIES PLAN
DWG 3 OF 7

DESIGNED BY: J. L. LUGG
DRAWN BY: J. L. LUGG
CHECKED BY: J. L. LUGG
DATE: 10/29/2021
PROJECT: KPI SHOP BUILDING
DRAWING TITLE: LAYOUT AND UTILITIES PLAN
DWG 3 OF 7



- LAYOUT NOTES:**
1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING SCOPE OF WORK.
 2. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY ENGINEER OF ANY CONFLICTS WITH ENGINEER SCOPE.
 3. TAKE ALL DIMENSIONS FROM FACE OF GRAVEL PARKING AREA OR BUILDING TO CENTERLINE OF DRIVE OR TREES UNLESS OTHERWISE NOTED.
 4. ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
 5. REFERENCE TO NORTH REFERS TO PLAN NORTH, REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE SETBACK
 - PROPOSED ASPHALT SURFACE
 - PROPOSED GRAVEL SURFACE
 - PROPOSED STORMWATER PRACTICE
 - EXISTING PIPE HYDRANT
 - EXISTING POTABLE WATER SERVICE
 - PROPOSED POTABLE WATER SERVICE
 - EXISTING SANITARY SEWER SERVICE
 - PROPOSED SANITARY SEWER SERVICE
 - EXISTING OVERHEAD UTILITY POLE



NOTES:
THIS PLAN SET WAS DRAFTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITIES SHOWN ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT ALL BEFORE COMMENCING ANY WORK AND SHALL PRESERVE EXISTING UTILITIES WHICH ARE NOT SPECIFIED TO BE REMOVED IN THIS PLAN SET.

studioA
LANDSCAPE ARCHITECTURE + ENGINEERING, PC
MAILING:
PO BOX 272
SARATOGA SPRINGS, NY 12866
OFFICE LOCATION:
36 HIGH ROCK AVE, SUITE 3
SARATOGA SPRINGS, NY 12866
(518) 450-4030

DRAWINGS
NOT FOR
CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
1	10/29/2021	SITE PLAN REVIEW

PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
68 PARK ROAD,
QUEENSBURY, NY 12804

PROJECT
KPI SHOP BUILDING

DRAWING TITLE
LAYOUT AND UTILITIES PLAN

DATE: 10/29/2021

PROJECT NO.
21067

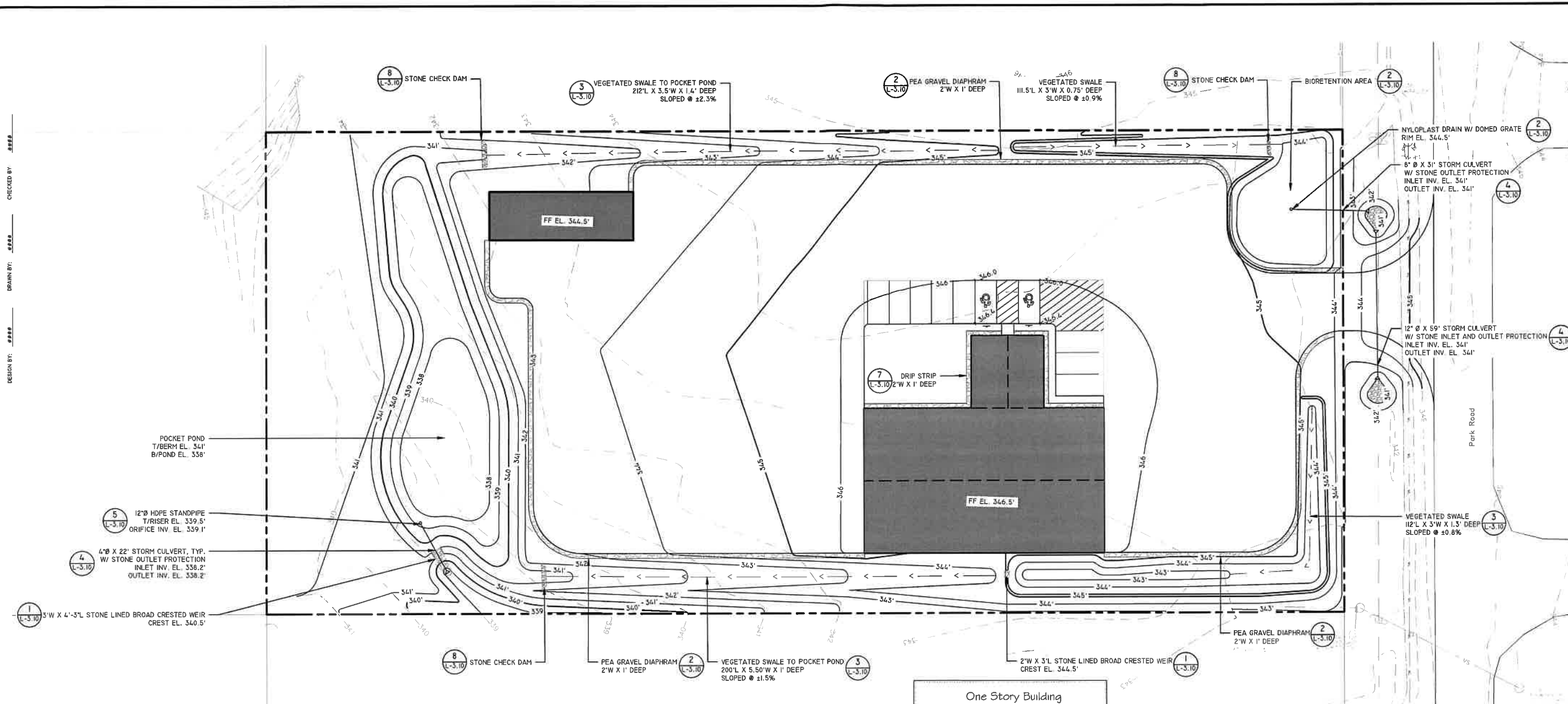
DRAWING NO.
L-1.10

DWG 3 OF 7

REVISIONS	DATE	DESCRIPTION
1	10/29/2021	SITE PLAN REVIEW

PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
68 PARK ROAD,
QUEENSBURY, NY 12804

PROJECT
KPI SHOP BUILDING
DRAWING TITLE
GRADING AND DRAINAGE
DATE: 10/29/2021
PROJECT NO.
21067
DRAWING NO.
L-2.10
DWG 4 OF 7



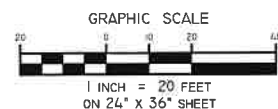
SITE WORK NOTES:

- BEFORE ANY LAND CLEARING IS COMPLETED, THE CONTRACTOR SHALL ARRANGE A MEETING ON SITE WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY WHICH TREES ARE TO BE PROTECTED OR REMOVED. NO CLEARING SHALL OCCUR WITHOUT A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD. THE PLACEMENT OF PROTECTION DEVICES ADDITIONAL TO THOSE NOTED SHALL, HOWEVER, BE AT THE CONTRACTORS DISCRETION. VEHICLES SHALL NOT BE PARKED WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE KEPT. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE KEPT. ALL TEMPORARY EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE. E&S CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED TO ENSURE SATISFACTORY PERFORMANCE. ANY DAMAGE OCCURRING DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ASSOCIATED FINES RESULTING FROM SUCH DAMAGE SHALL ALSO BE PAID BY THE CONTRACTOR.
- ALL PROPOSED GRADES SET IN THE FIELD TO BE COMPLETED BY A NEW YORK STATE LICENSED SURVEYOR.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO REQUIRED GRADE IN A MAXIMUM OF 12" COMPACTED LIFTS.
- ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SLOPE STABILIZATION MATS. LOCATIONS AND METHODS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY BEFORE CONTINUING WORK.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINE SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADE, PROVIDING VERTICAL CURVES OR ROUNDINGS AT THE TOP AND BOTTOM OF ALL SLOPES.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED AT NO COST TO THE OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE TO PREVENT PONDING. FINISHED SURFACES SHALL BE FREE FROM ANY ABRUPT OR IRREGULAR CHANGES.

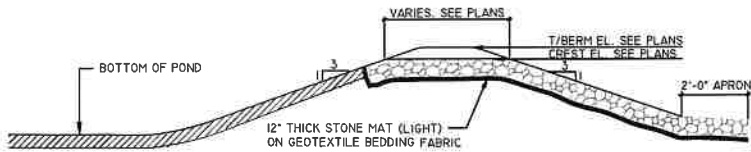
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND SO THAT NO DAMAGE OCCURS TO EXISTING ROOT SYSTEM. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- EXCAVATION SHALL BE TO ELEVATIONS INDICATED WITH A TOLERANCE OF $\pm 1"$.
- SUBBASE COURSE MATERIAL SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 304, TYPE 2 AND SHALL CONFORM TO MIN 95% MODIFIED PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE COMPACTED ON SITE SOIL MATERIAL.
- EMBANKMENT FILL SHALL CONFORM WITH ALL REQUIREMENTS OF NYSDOT SPEC. SECTION 203. MAXIMUM ALLOWABLE LOOSE LIFTS FOR EMBANKMENTS SHALL BE 12 INCH AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS ESTABLISHED THROUGH THE STANDARD PROCTOR COMPACTION TEST PER ASTM D698.
- ALL TRENCHES AND OTHER EXCAVATION SIDE SLOPES INDICATED ON THE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO INDICATE A STABLE EXCAVATION SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND STABILITY OF ALL EXCAVATION SLOPES, SHEETING, SHORING, TRENCH BOXES, AND ANY OTHER MEANS REQUIRED FOR A SAFE WORK ENVIRONMENT AND FOR PROTECTION OF ADJACENT ROADWAYS AND OTHER STRUCTURES. ALL EXCAVATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING REGULATORY AGENCIES:

- SUBPART 23-4, "EXCAVATION OPERATIONS", OF NEW YORK DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 23.
 - SUBPART P, "EXCAVATIONS", OF THE UNITED STATES DEPARTMENT OF LABOR OSHA REGULATIONS FOR CONSTRUCTION.
 - ALL OTHER MUNICIPAL, COUNTY, STATE OR FEDERAL AGENCIES, REGULATIONS OR LAWS PERTAINING TO EXCAVATION SAFETY AS MAY APPLY AT THE WORK SITE.
 - THE MORE STRINGENT PROVISION IN EACH OF THE ABOVE CODES SHALL APPLY. THESE PROVISIONS SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING CONDITIONS.
- CRUSHED STONE, WHERE CALLED FOR ON THE DRAWINGS, SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 703-02, SIZE DESIGNATION 2.
 - ALL DISTURBED AREAS NOT COVERED WITH SITE IMPROVEMENTS OR LANDSCAPING SHALL BE COVERED WITH 3" OF TOPSOIL AND SEED TO ESTABLISH A DENSE GROWTH OF TURF. SEED MIX SHALL INCLUDE 70% CREEPING RED FESCUE AND 30% BLEND OF SHADE-TOLERANT HARD FESCUE. SEED MIX LBS/1000 SQ. FT. SHALL BE COMPLIANT WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGE 4.46.

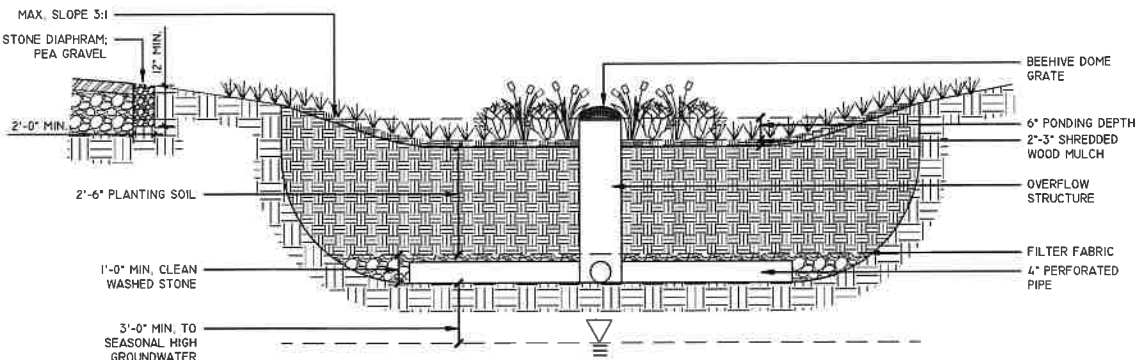
LEGEND	
	PROPERTY LINE
	PROPERTY LINE SETBACK
	100' STREAM BANK SETBACK
	SILT FENCE
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	PROPOSED SWALE
	PROPOSED SPOT GRADES



HAD REFERENCE:
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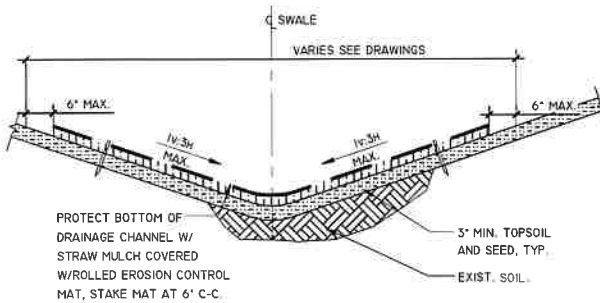
1 STONE WEIR OVERFLOW



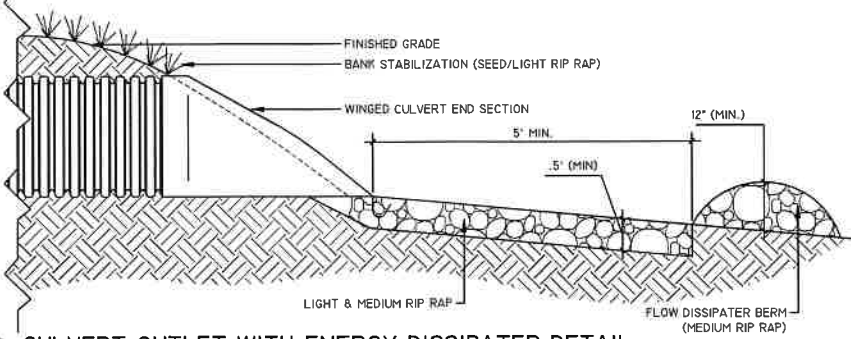
- NOTES:
1. THE SOIL FOR BIORETENTION SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO (2) INCHES IN DIAMETER, NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO PLANTING MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF NOXIOUS WEEDS. THE SOIL MIXTURE SHALL BE A MIXTURE OF TWO (2) PARTS SAND AND ONE (1) PART TOPSOIL, BY VOLUME, SAND SHALL MEET THE REQUIREMENTS OF NYSDOT § 703.07 CONCRETE SAND. THE TOPSOIL SHALL MEET THE REQUIREMENTS OF NYSDOT § 713-01 TOPSOIL-TYPE A. THE MIXTURE SHALL HAVE A PH RANGE OF 5.2 TO 7.6.
 2. THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:

PH RANGE	5.2 - 7.6
ORGANIC MATTER	1.5% - 4%
MAGNESIUM	35LB./AC
PHOSPHORUS P ₂ O ₅	75LB./AC
POTASSIUM K ₂ O	85LB./AC
SOLUBLE SALTS	NOT TO EXCEED 500PPM
 3. ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE (1) TEST. EACH TEST SHALL CONSIST OF BOTH STANDARD SOIL TEST FOR PH, PHOSPHOROUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN THE TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.
 4. PLANTING BED SHALL BE A MIX OF UPLAND AND WETLAND NATIVE SHRUBS, GRASSES AND HERBACEOUS PLANT MATERIAL ARRANGED IN A NATURAL CONFIGURATION STARTING FROM THE MORE UPLAND SPECIES AT THE OUTERMOST ZONE OF THE SYSTEM TO MORE WETLAND SPECIES AT THE INNERMOST ZONE. PLANTS SHALL BE CONTAINER GROWN WITH A WELL ESTABLISHED ROOT SYSTEM, PLANTED ON ONE-FOOT CENTERS. THE AREA SHALL NOT BE SEEDED AS THIS TAKES TOO LONG TO ESTABLISH THE DESIRED ROOT SYSTEM. SHREDDED HARDWOOD MULCH SHALL BE APPLIED UP TO 2 INCHES TO HELP KEEP SOIL IN PLACE.
 5. THE STONE LAYER SHALL BE CLEAN WASHED GRAVEL (1.5 INCH - 2.0 INCH DIAMETER).

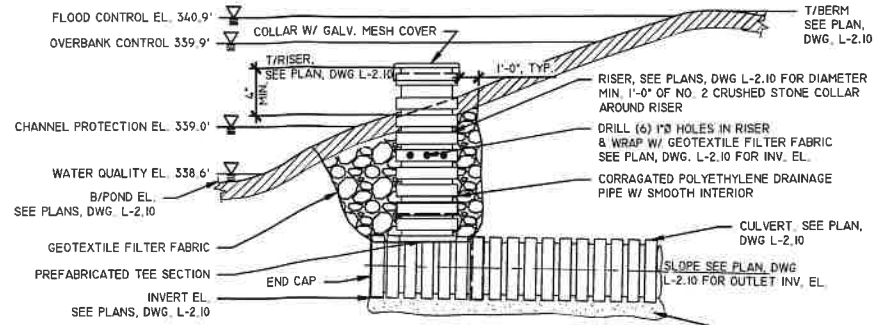
2 BIORETENTION AREA



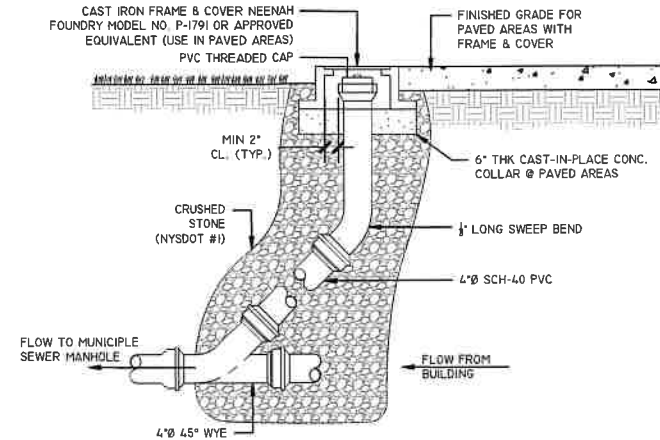
3 VEGETATIVE SWALE DETAIL



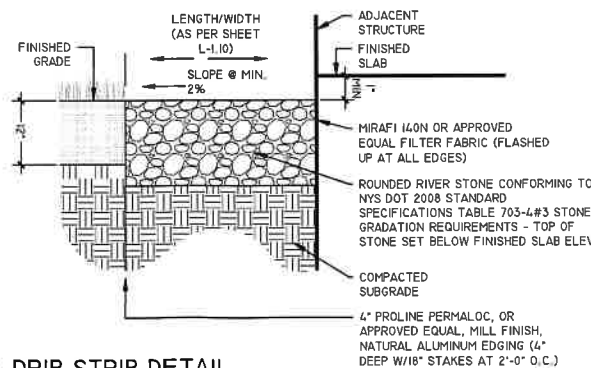
4 CULVERT OUTLET WITH ENERGY DISSIPATER DETAIL



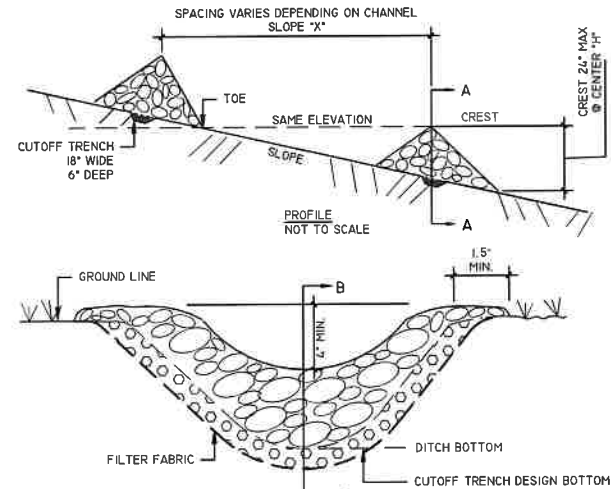
5 POND OUTLET DETAIL



6 SEWER CLEANOUT DETAIL



7 DRIP STRIP DETAIL



- NOTE:
1. STONE WILL BE PLACED ON A FILTER FABRIC TO THE LINES, GRADES AND LOCATIONS SHOW ON THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.

$$X = \frac{H (FT)}{SLOPE (FT/FT)}$$
 3. EXTEND STONE A MINIMUM OF 1'-6" BEYOND TOP OF SWALE.
 4. PROTECT SWALE/CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM EROSION WITH STONE OR APPROPRIATE LINER.
 5. ENSURE THAT CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO BLOCKAGE FROM DISPLACED STONE.
- MAXIMUM DRAINAGE AREA: 2 ACRES

8 STONE CHECK DAM DETAIL

studioA
Landscape Architecture - Engineering - DPC

STUDIO A
LANDSCAPE ARCHITECTURE +
ENGINEERING, DPC

MAILING:
PO BOX 272
SARATOGA SPRINGS, NY 12866

OFFICE LOCATION:
38 HIGH ROCK AVE. SUITE 3
SARATOGA SPRINGS, NY 12866

(518) 450-6030

I, _____, IS A LICENSED PROFESSIONAL ENGINEER UNDER THE REGULATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. I, _____, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY FROM THE ORIGINAL DESIGN OR TO ALTER THE ALTERNATIVE LICENSED PROFESSIONAL SHALL SIGN THE DOCUMENT AND INCLUDE THE DATE OF THE DATE OF ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

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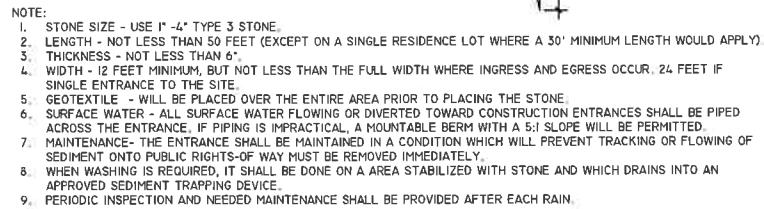
REVISIONS	DATE	DESCRIPTION
1	10/29/2021	SITE PLAN REVIEW

PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
68 PARK ROAD,
QUEENSBURY, NY 12804

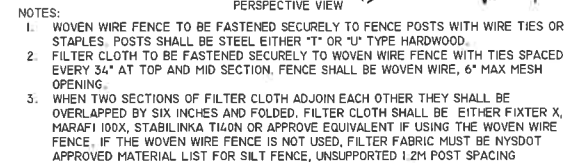
PROJECT
KPI SHOP BUILDING

DRAWING TITLE
STORMWATER DETAILS

DATE: 10/29/2021
PROJECT NO.
21067
DRAWING NO.
L-3.10
DWG 5 OF 7

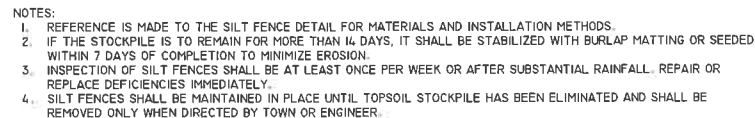


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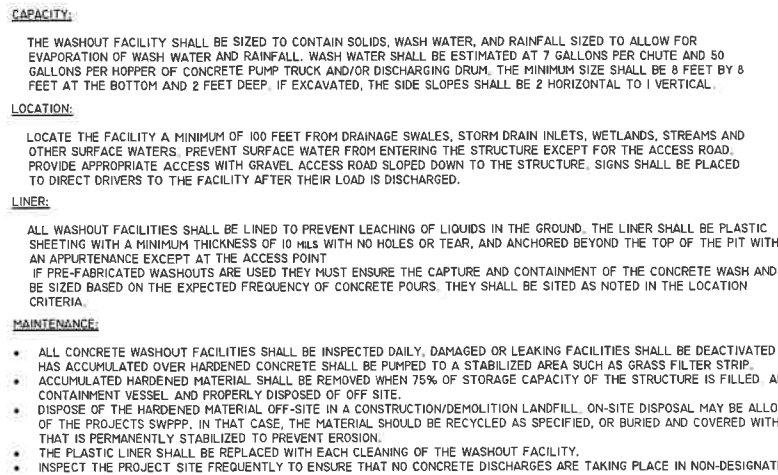


SILT FENCE SLOPE LENGTH/FENCE LENGTH (FT.)			
SLOPE	STANDARD FENCE	REINFORCED FENCE	SUPER
<2%	300 / 1500	NA	NA
2%-10%	125 / 1000	250 / 2000	300 / 2500
10-20%	100 / 750	150 / 1000	200 / 1000
20%-33%	60 / 500	80 / 750	100 / 1000

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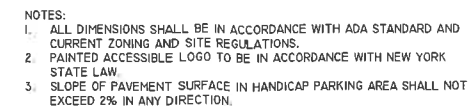
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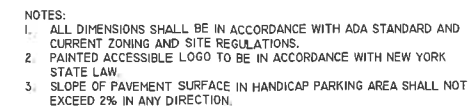


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SCALE N.T.S.



REVISIONS	
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PROJECT KPI SHOP BUILDING

DATE: 10/29/2021
PROJECT NO.
21067
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L-4.10
DWG 6 OF 7



NOTES:

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IN THE NURSERY.
2. THIN BRANCHES & FOLIAGE AS DIRECTED WHILE RETAINING NORMAL SHAPE OF TREE. NEVER CUT A LEADER.
3. TREES SHALL BE PLUMB & STRAIGHT.

ATTACH $\frac{1}{2}$ GALV. STEEL CABLE TO STAKE NOTCH STAKE TO RECEIVE CABLE.

ENCASE WIRE AROUND TRUNK TO REINFORCE RUBBER HOSE ABOVE FIRST BRANCH. SECURE ALL ENDS OF CABLE WITH GALV. CLAMPS.

1" GALV. TURNBUCKLE EA. CABLE

3" Ø X 8' CEDAR STAKES, 3 PER TREE STAKES TO BE SAME HEIGHT, DRIVEN ON AT A SLIGHT ANGLE. STAKES TO BE OUTSIDE OF ROOT BALL.

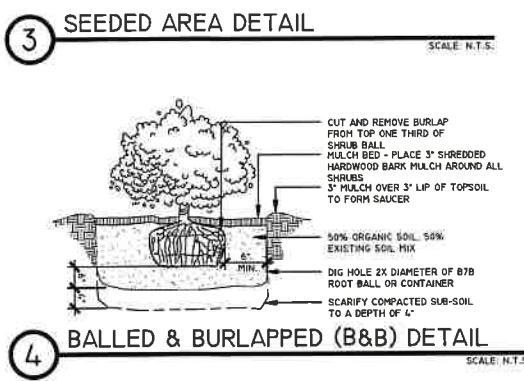
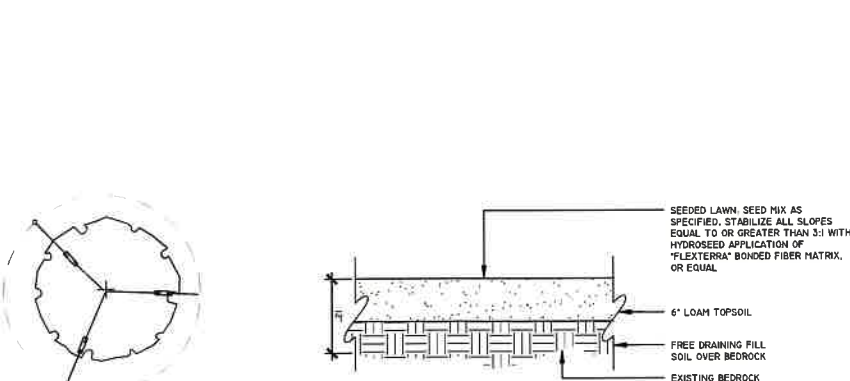
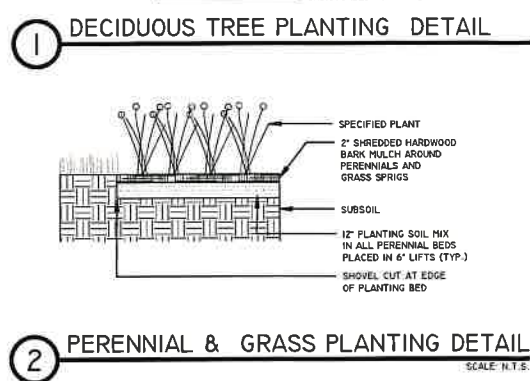
WRAP ALL DECIDUOUS TRUNKS NEATLY TO A HEIGHT OF THE SECOND LOWEST BRANCH (1" FALL PLANTING ONLY)

3" HT. PLANTING MIX SAUCER

3" DEPTH PINE BARK MULCH, PULL MULCH AWAY FROM TREE TRUNK AMENDED PLANTING MIX, COMPECTED

CUT ROPE SURROUNDING BOTTOM OF TREE TRUNK AFTER BACKFILLING BUT BEFORE MULCHING. DO NOT REMOVE BURIAL.

NATIVE SOIL, DRAINAGE HOLES, COMPACTED TO UNDISTURBED SUBGRADE



- # PLANTING NOTES:
1. ALL PLANT BEDS TO BE MULCHED WITH 4" DEEP BROWN HARDWOOD MULCH, UNLESS OTHERWISE NOTED ON THE PLANS.
 2. PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE, VERIFY, AND REPORT ANY CONFLICTS OF EXISTING UTILITY LINES TO THE LANDSCAPE ARCHITECT.
 3. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERYMEN, INC. AND SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY DIRECTOR'S REPRESENTATIVE.
 4. WRITTEN APPROVAL IS REQUIRED FROM LANDSCAPE ARCHITECT OF ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL. CHANGED PLANTS SHALL BE EQUIVALENT FORM, HEIGHT, FLOWER, COLOR, LEAF, SIZE, BRANCHING, CULTURE AND FRUIT.
 5. A MINIMUM OF 6" OF SUITABLE TOPSOIL IS REQUIRED IN AREAS WITH PROPOSED LAWN SEEDING PRIOR TO SEEDING.
 6. PRIOR TO COMMENCEMENT OF PLANTING, STAKE LOCATION OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
 7. SCHEDULE DELIVERY OF PLANTS ONLY IN REASONABLE TIME AS TO WHEN THEY CAN BE INSTALLED. PLANTS TO BE INSPECTED BY LANDSCAPE ARCHITECT AT DELIVERY.
 8. MAINTENANCE TO BEGIN IMMEDIATELY FOLLOWING INSTALLATION OF PLANT MATERIAL AND BEFORE FINAL ACCEPTANCE.
 9. TREES SHALL NOT BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 3" HIGHER THAN PREVIOUS GRADE. SHRUBS AND GROUND COVER SHALL BE PLANTED AS THE SAME RELATIONSHIP TO GRADE AS PREVIOUS GRADE.
 10. PLANT MATERIAL QUANTITIES TO BE PROVIDED BY CONTRACTOR AS SHOWN ON DRAWINGS.
 11. UNLESS NOTED ON PLANT LIST, PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN.
 12. FOR SEEDING OF DISTURBED AREAS USE SPECIFIED MIX FOR DESIGNATED AREA OR APPROVED EQUAL APPROVED BY LANDSCAPE ARCHITECT.

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PREPARED FOR
KENYON PROPERTY MANAGEMENT, LLC
58 PARK ROAD,
QUEENSBURY, NY 12804

PROJECT	KPI SHOP BUILDING
DRAWING TITLE	PLANTING PLAN
DATE:	10/29/2021
PROJECT NO.	21067
DRAWING NO.	L-5.10
DWG 7 OF 7	